

General Demolition Notes

- Remove all existing surface improvements (i.e., sidewalks, curbs, stairs, retaining walls, planters, bituminous paved surfaces, etc.) within this line, unless noted otherwise. Walls, planters, etc., shall be removed to their full depth including foundation walls and footings. Stub out all tree stubs remaining from Owner's removal of trees.
- See mechanical and electrical demolition plans for respective items to be removed. See Divisions 15 and 16 specifications for extent of demolition and patching work by mechanical and electrical contractors.
- Mechanical and electrical contractors to perform demolition and removal of all mechanical and electrical items, U.N.O.
- Sawcut hard surface paving at locations where adjacent like material remains.

Demolition Notes

- Owner will remove existing tree.
- Service building to remain. See Sheet D-2 for partial demolition.
- See Demolition Plan on Sheet D-2 for removal in this area.
- Tree to remain.
- Manhole to remain.
- Existing curbs to remain.
- Hydrant to remain.
- Light pole to remain.
- Remove existing curb, gutter, and driveway aprons.
- Remove existing concrete sidewalk to this approximate location. Curb to remain.

LETTER ABBREVIATIONS

T.C. TOP OF CURB
 F.L. FLOW LINE
 T.O.C. TOP OF CASTING
 INV. INVERT ELEVATION
 T.W. TOP OF WALL
 GR. GROUND
 T.F. TUNNEL FLOOR
 T.C. TUNNEL CEILING
 B.M. BENCHMARK
 ELEV. ELEVATION
 T.D. TOP OF LOADING DOCK
 FFE FINISHED FLOOR ELEVATION

LEGEND

- EXISTING ELEVATION..... 37.28
- CATCH BASIN.....
- STORM SEWER MANHOLE.....
- STORM SEWER.....
- SANITARY SEWER MANHOLE.....
- SANITARY SEWER.....
- GATE VALVE.....
- HYDRANT.....
- FIRE DEPARTMENT CONNECTION.....
- WATER MAIN.....
- LIGHT POLE.....
- BURIED ELECTRIC LINE.....
- BURIED TELEPHONE LINE.....
- BURIED GAS LINE.....
- BURIED COMMUNICATIONS CABLE.....
- DECIDUOUS TREE.....
- CONIFEROUS TREE.....
- TREE IN GRAVEL AREA.....
- CONCRETE CURB.....
- TUNNEL.....
- CONCRETE RETAINING WALL.....
- CONCRETE BENCH.....
- CONCRETE.....
- BITUMINOUS.....

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Sidney P. Williamson
 DATE: 15 DEC 1986 REG. NO. 38229

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Sidney P. Williamson
 DATE: JUNE, 1986 REG. NO. 10918

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 SAINT CLOUD, MINNESOTA 56301
 TELEPHONE 812-253-2100

**GARVEY COMMONS/
 SHERBURNE HALL
 ADDITIONS & REMODELING**

ST. CLOUD STATE UNIVERSITY
 ST. CLOUD MINNESOTA

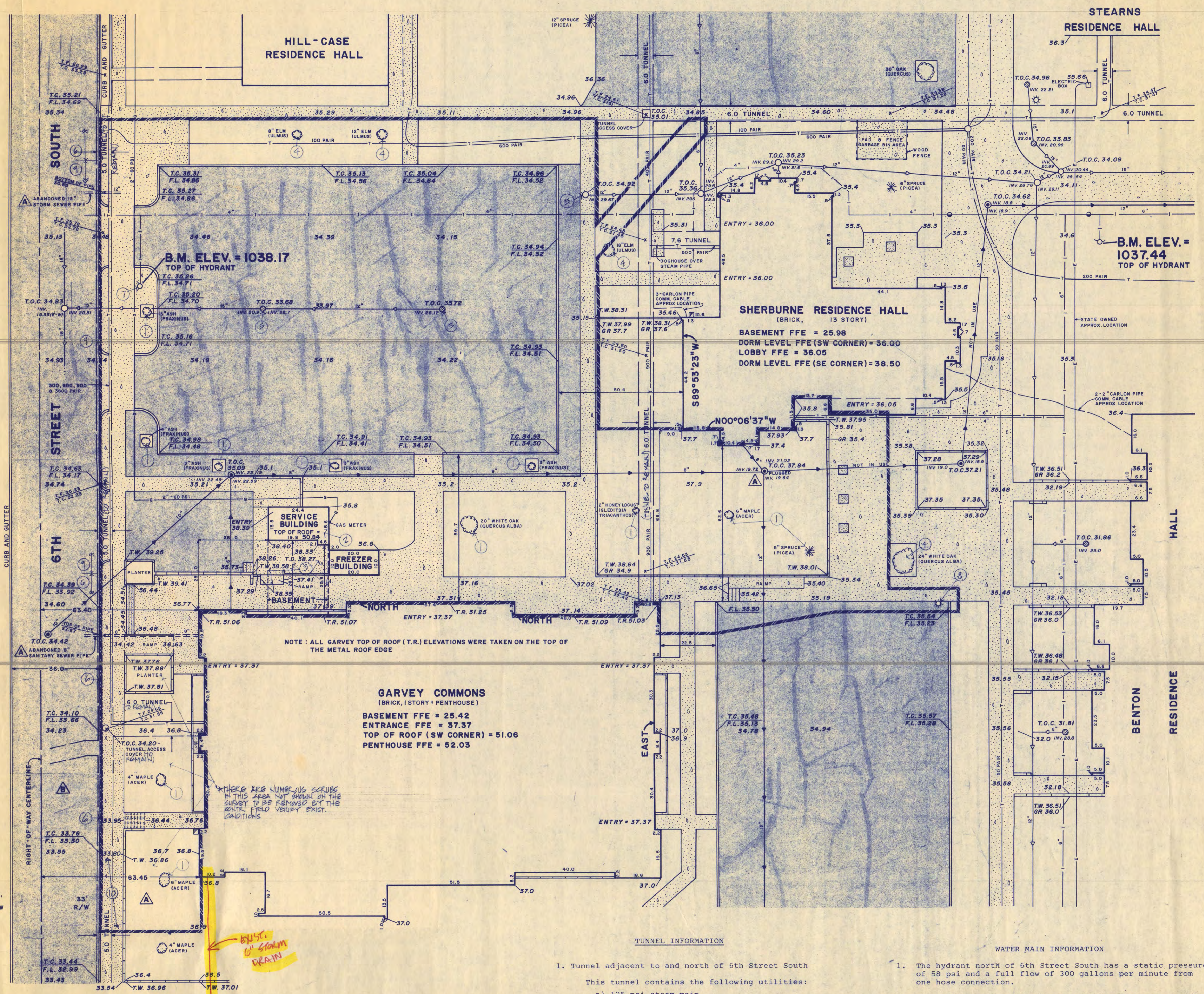
REVISED	PROJECT NO.	86205
	ISSUE DATE	16 DEC 1986
	DRAWN BY	gjh
	CHECKED	ah
	APPROVED ARCHITECT	fw
	SCALE	AS NOTED

- ENGINEER'S NOTES**
- The field work for this project was accomplished between May 19, 1986, and May 27, 1986.
 - The benchmark elevations shown on the drawing are based on USGS datum. Add 1000 feet to elevation shown for true elevation.
 - Utility locations were obtained from utility company representatives and records. All utility locations must be verified prior to construction. The operating authority of each utility is as follows:
 - sanitary sewer, storm sewer, water main: City of St. Cloud
 - electric, steam, condensation, communications: State of Minnesota
 - telephone: Northwestern Bell
 - gas: Northern States Power Co.
 - The arrows shown on the sanitary and storm sewer lines signify the direction of flow.
 - 6th Street South is under the jurisdiction of the City of St. Cloud, Minnesota.

PROJECT NO. 86209

WK WILLIAMSON-KOTSMITH, INC.
 engineers • surveyors
 st. cloud, mn.

▲	OCT. 7, 1986	ADDED 6TH ST. S. RIGHT-OF-WAY INFORMATION
▲	SEPT. 11, 1986	REVISIONS & ADDITIONS-SOUTH OF GARVEY, MISC.
	JUNE, 1986	ORIGINAL ISSUE DATE



- TUNNEL INFORMATION**
- Tunnel adjacent to and north of 6th Street South. This tunnel contains the following utilities:
 - 125 psi steam main
 - 10 psi condensation line
 - carlon communications cable
 - Tunnel running from Garvey Commons west to Sherburne Residence Hall and points beyond. This tunnel contains the following utilities:
 - main tunnel - 4160 volt electric line branch to Sherburne - 2470 volt electric line
 - 125 psi steam main
 - 10 psi condensation line
 - carlon communications cable

- WATER MAIN INFORMATION**
- The hydrant north of 6th Street South has a static pressure of 50 psi and a full flow of 300 gallons per minute from one hose connection.
 - The hydrant north of Sherburne Residence Hall and east of Stearns Residence Hall has a static pressure of 50 psi and a full flow of 1200 gallons per minute from one hose connection.
- The above hydrant information was supplied by the St. Cloud Fire Department.

WHERE ARE NUMBERING SCRIBES IN THIS AREA NOT SHOWN ON THE SUBJECT TO BE REMOVED BY THE CONTRACTOR UNDER THE FOLLOWING CONDITIONS:

EXISTING STORM DRAIN

GARVEY COMMONS
 (BRICK, 1 STORY + PENTHOUSE)
 BASEMENT FFE = 25.42
 ENTRANCE FFE = 37.37
 TOP OF ROOF (SW CORNER) = 51.06
 PENTHOUSE FFE = 52.03

SHERBURNE RESIDENCE HALL
 (BRICK, 13 STORY)
 BASEMENT FFE = 25.98
 DORM LEVEL FFE (SW CORNER) = 36.00
 LOBBY FFE = 36.05
 DORM LEVEL FFE (SE CORNER) = 38.50

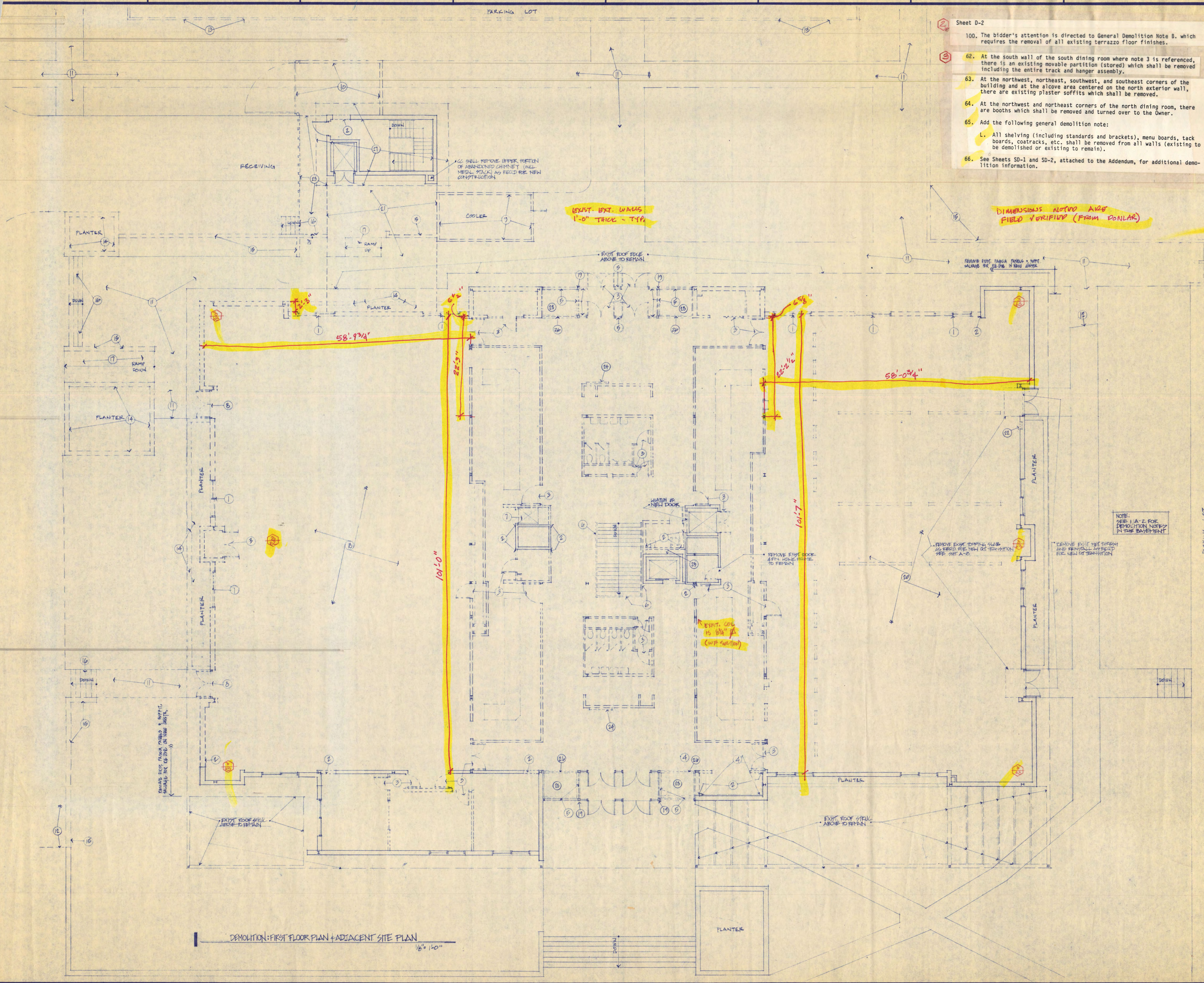
STEARNS RESIDENCE HALL

HILL-CASE RESIDENCE HALL

B.M. ELEV. = 1037.44
 TOP OF HYDRANT

B.M. ELEV. = 1038.17
 TOP OF HYDRANT

NOTE: ALL GARVEY TOP OF ROOF (T.R.) ELEVATIONS WERE TAKEN ON THE TOP OF THE METAL ROOF EDGE



- Sheet D-2
100. The bidder's attention is directed to General Demolition Note 8, which requires the removal of all existing terrazzo floor finishes.
62. At the south wall of the south dining room where note 3 is referenced, there is an existing movable partition (stored) which shall be removed including the entire track and hanger assembly.
63. At the northwest, northeast, southwest, and southeast corners of the building and at the alcove area centered on the north exterior wall, there are existing plaster soffits which shall be removed.
64. At the northwest and northeast corners of the north dining room, there are booths which shall be removed and turned over to the Owner.
65. Add the following general demolition note:
- L. All shelving (including standards and brackets), menu boards, tack boards, coat racks, etc. shall be removed from all walls (existing to be demolished or existing to remain).
66. See Sheets SD-1 and SD-2, attached to the Addendum, for additional demolition information.

- General Demolition Notes**
- All interior partitions and exterior walls shown in dashed lines are to be removed. See the Architectural sheets for extent of removal.
 - Remove all floor covering in their full depth, including terrazzo and grout base, ceramic tile, quarry tile and grout base, carpet, and resilient tile. Clean existing concrete slab and fill all cracks and voids. Prepare the slab to receive new floor finishes.
 - General contractor to remove all existing foodservice equipment (including tray conveyor to basement) except that scheduled in Section 1140 for reuse or retention by the Owner. See Section 1140 for a partial listing of equipment to be removed. Verify exact requirements in field. Mechanical and electrical contractors shall remove or cap items of their respective trades.
 - Remove all suspended acoustical tile ceilings. Said items shall become the property of the contractor. U.S.O.
 - Remove existing concrete topping from within the existing building. See Sheet A-3 for extent of removal.
 - All hollow metal and aluminum doors noted to be removed per the demolition notes shall become the property of the contractor. All other doors (i.e., wood and plastic laminate faced) shall be turned over to the Owner. All folding and/or movable partitions will become the property of the contractor. All finish hardware from the above doors (whether to remain with the contractor or the Owner) shall be turned over to the Owner.
 - Remove all existing items on walls to be removed. All tack boards shall be removed and turned over to the Owner. All other items (menu boards, calorie boards, coat racks, benches) shall become the property of the contractor.
 - In the existing north dining room, Owner to remove all ceiling wood framing materials hung from existing roof structure. Contractor shall remove all other items (e.g., walls, etc.).
 - Remove all fire extinguishers and cabinets which are located in existing walls to be removed and turn over to the Owner.
 - All existing loose removable P-lam wall panels shall be turned over to the Owner.
- Demolition Notes Show Thus**
- Remove existing window, frame, and related hardware as required and salvage for re-use in locations indicated on Architectural floor plans.
 - Remove wall as required. See Architectural floor plan for extent of removal.
 - Remove existing door, frame, and related hardware.
 - Remove existing floor slabs as required for new stair. See Architectural floor plan for new stair.
 - Remove existing window, frame, and related hardware.
 - Remove existing hand rail.
 - Remove existing elevator and related equipment and hardware.
 - Remove existing door, frame, and related hardware. Salvage as required for reinstallation in new location shown on Architectural floor plan.
 - Remove existing cooler, including floor structure, foundation, and footings in their entirety.
 - Remove existing dumpster structure, including hinged post.
 - Sawcut and remove existing sidewalk.
 - Sawcut and remove existing sidewalk to this approximate location.
 - Sawcut and remove existing curb construction.
 - Remove existing planter construction.
 - Sawcut and remove existing retaining wall construction.
 - Remove existing stair construction.
 - Remove existing ramp construction.
 - Remove existing ceiling hung acoustical panels (this dining room only) and turn over to the Owner.
 - Remove existing steel columns.
 - Remove existing wood framed ceiling structures and support walls (this dining room only). See Section 1200B.
 - At locations of existing basement between elevator building, and Garvey Commons remove existing top slab and waterproof membrane and prepare surface for new interior slab. See Sheet A-3 for extent of new waterproof membrane. Existing basement to remain.
 - Remove existing wall as required for new fire extinguisher cabinet.
 - Remove all existing mortar flush with face of wall.
 - Remove existing electronic message center. Reinstall in new work as shown. Disconnection and reconnection of electrical by the electrical contractor.
 - Remove existing loading dock construction—full depth of footings and foundation wall.
 - Remove existing wood railing and turn over to the Owner.
 - Remove existing fascia, soffit, and roof structure of this building. See A-Sheet details for extent of removal of existing walls required.
 - Remove existing terrazzo, recessed planter, and setting bed to structural concrete slab.
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- DATE 10, DEC. 1956 REG NO. 25025

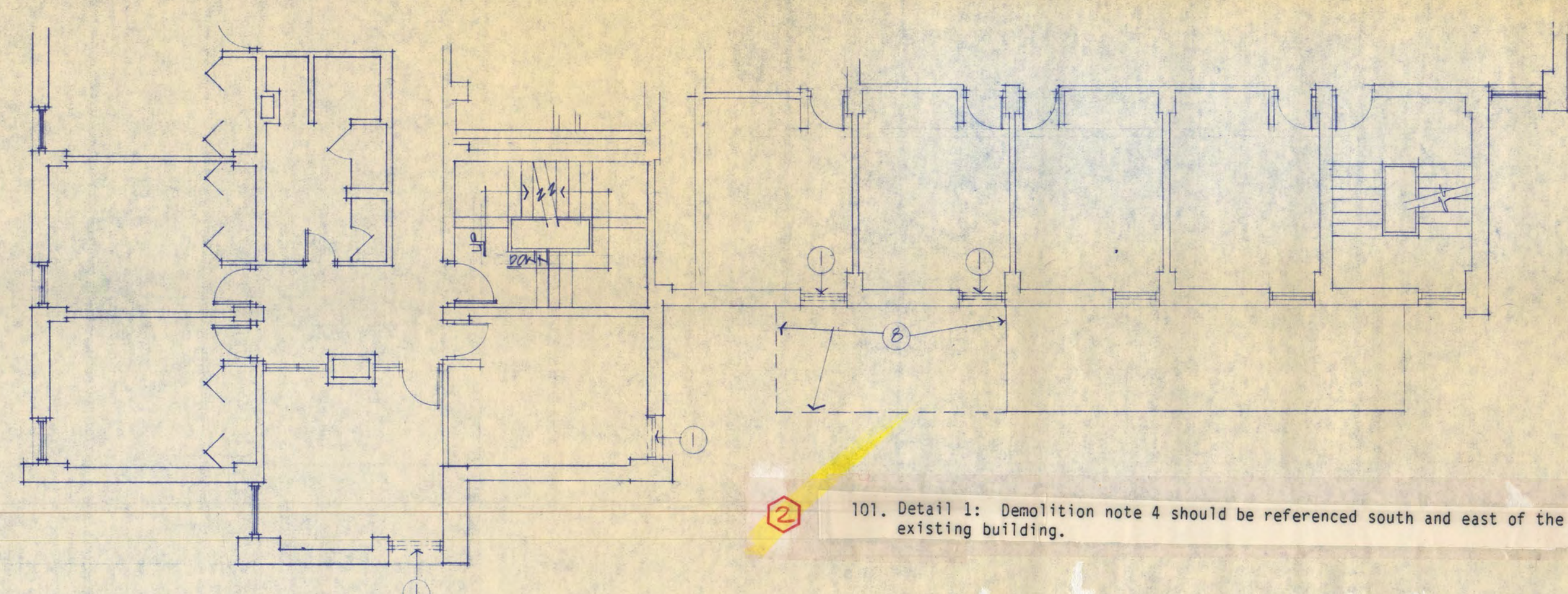
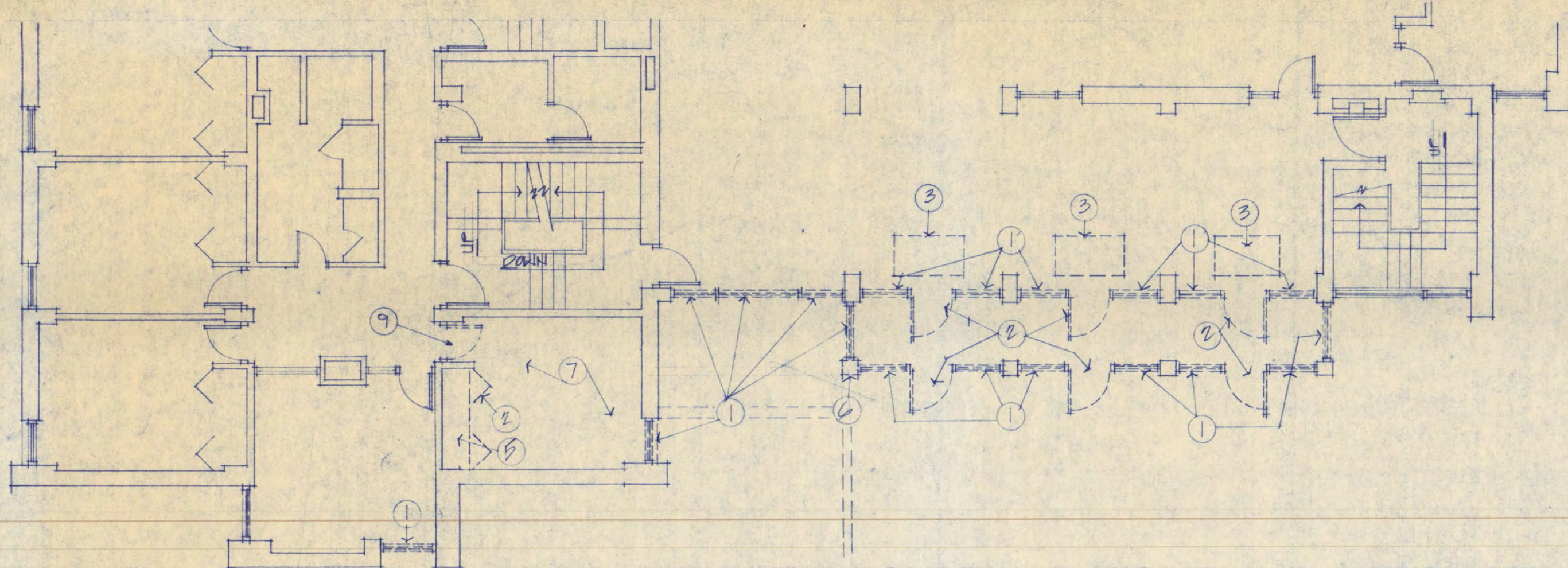
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**GARVEY COMMONS/
 SHERBURNE HALL
 ADDITIONS & REMODELING**
 ST. CLOUD STATE UNIVERSITY
 ST. CLOUD MINNESOTA

PROJECT NO. 86079
 ISSUE DATE 13 DEC 1956
 DRAWN BY EA
 CHECKED G.H.
 APPROVED F.W.
 ARCHITECT
 APPROVED OWNER
 SCALE AS NOTED

North

D-2



101. Detail 1: Demolition note 4 should be referenced south and east of the existing building.

5 DEMOLITION SECOND FLOOR PLAN
1/8" = 1'-0"

DEMOLITION FIRST FLOOR PLAN
1/8" = 1'-0"

- Demolition Notes (See D-2 for General Demolition Notes)
1. Remove existing window, frame, and related hardware.
 2. Remove existing door, frame, and related hardware.
 3. Remove existing floor mat and frame and prepare sub-surface for new floor covering.
 4. Remove existing concrete retaining wall. See Sheet A-1 and D-1 for extent.
 5. Remove existing closet shelving and rod.
 6. Remove existing concrete column construction (this column only).
 7. Remove existing carpeting.
 8. Sawcut and remove existing roof structure as required. See Detail 15/A-15.
 9. Remove existing door and finish hardware; frame to remain.

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[Signature]
DATE 19, DEC. 1976 REG. NO. 5525

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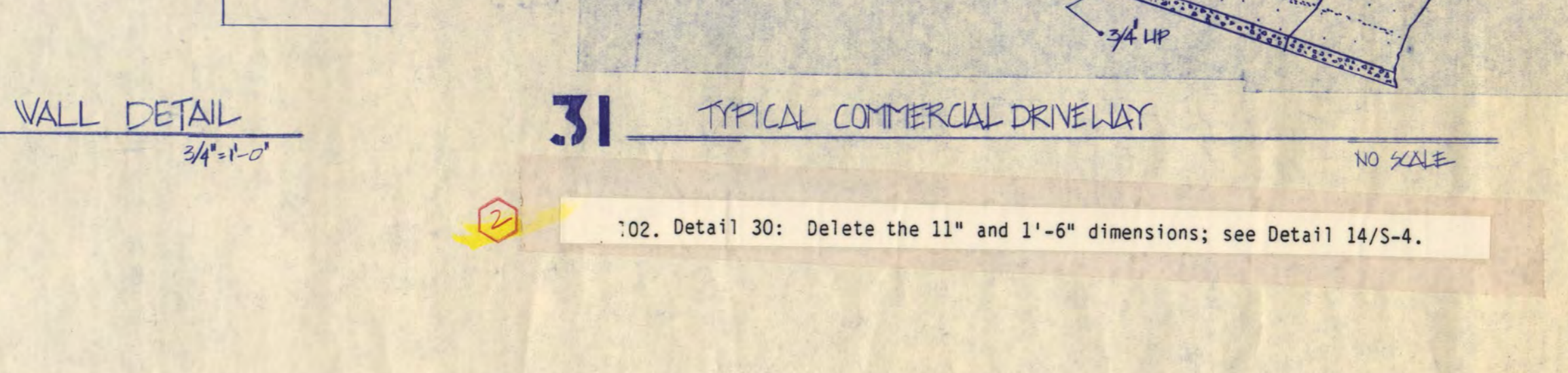
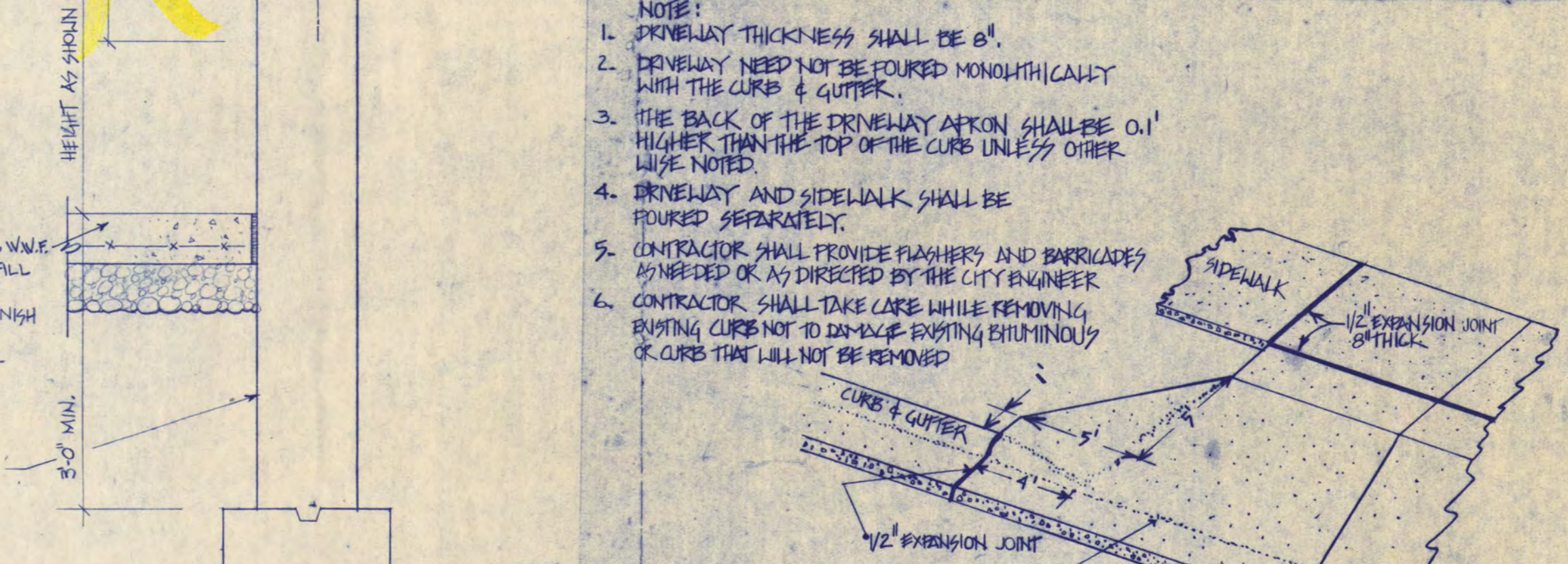
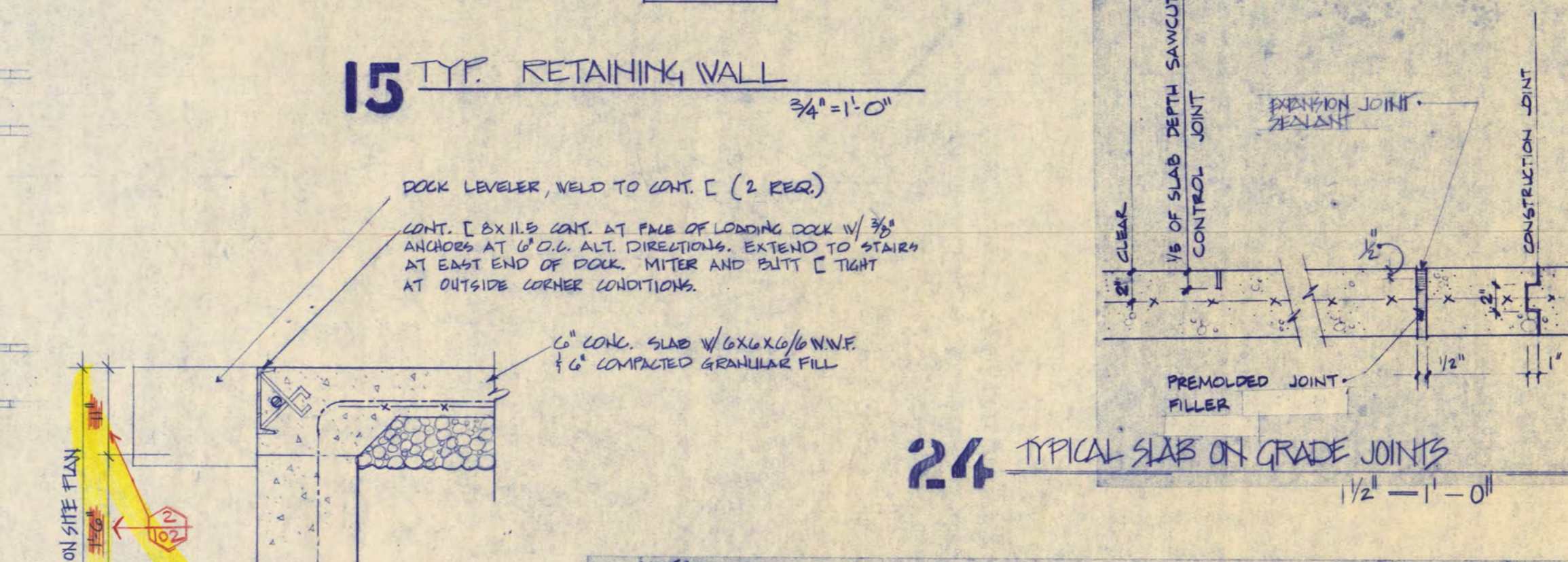
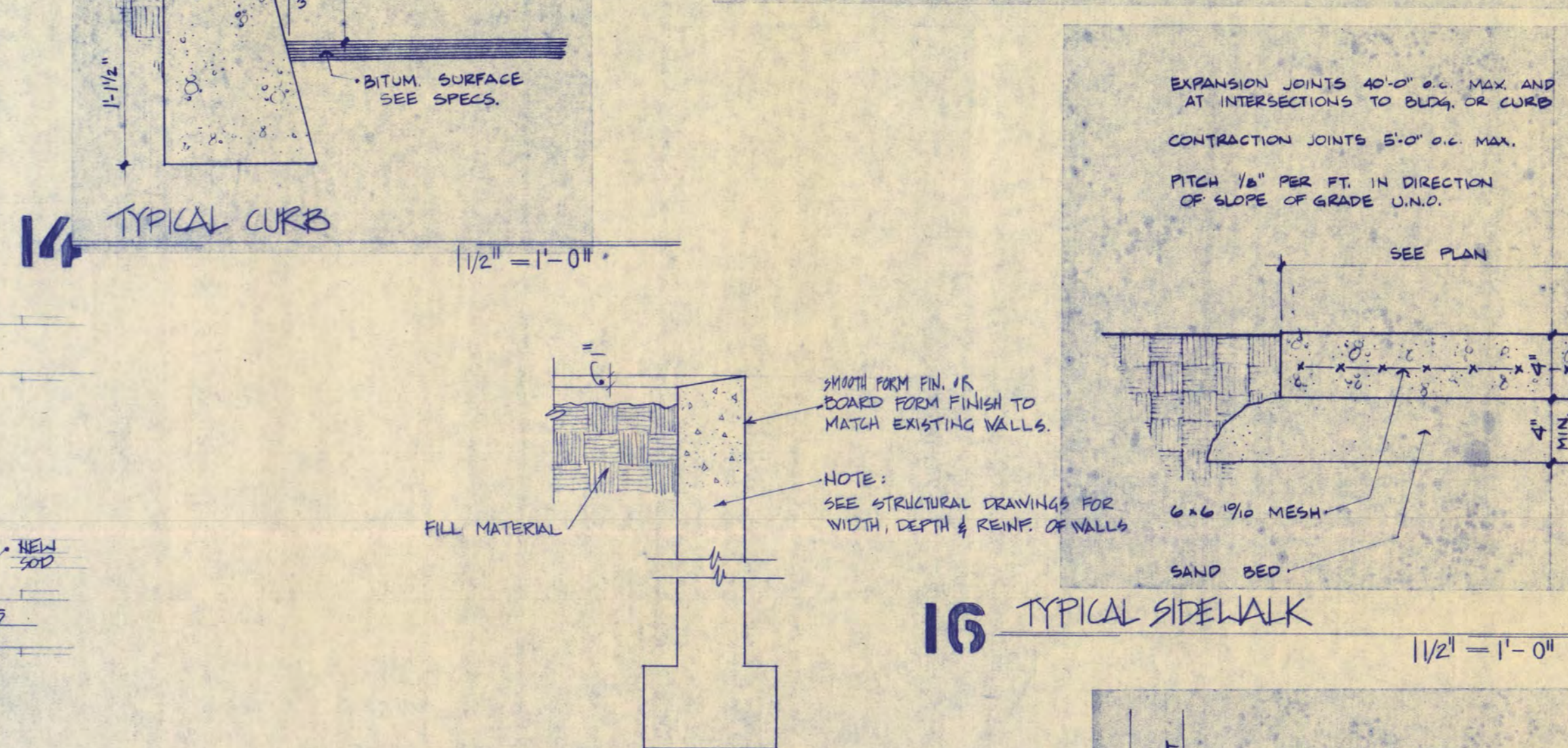
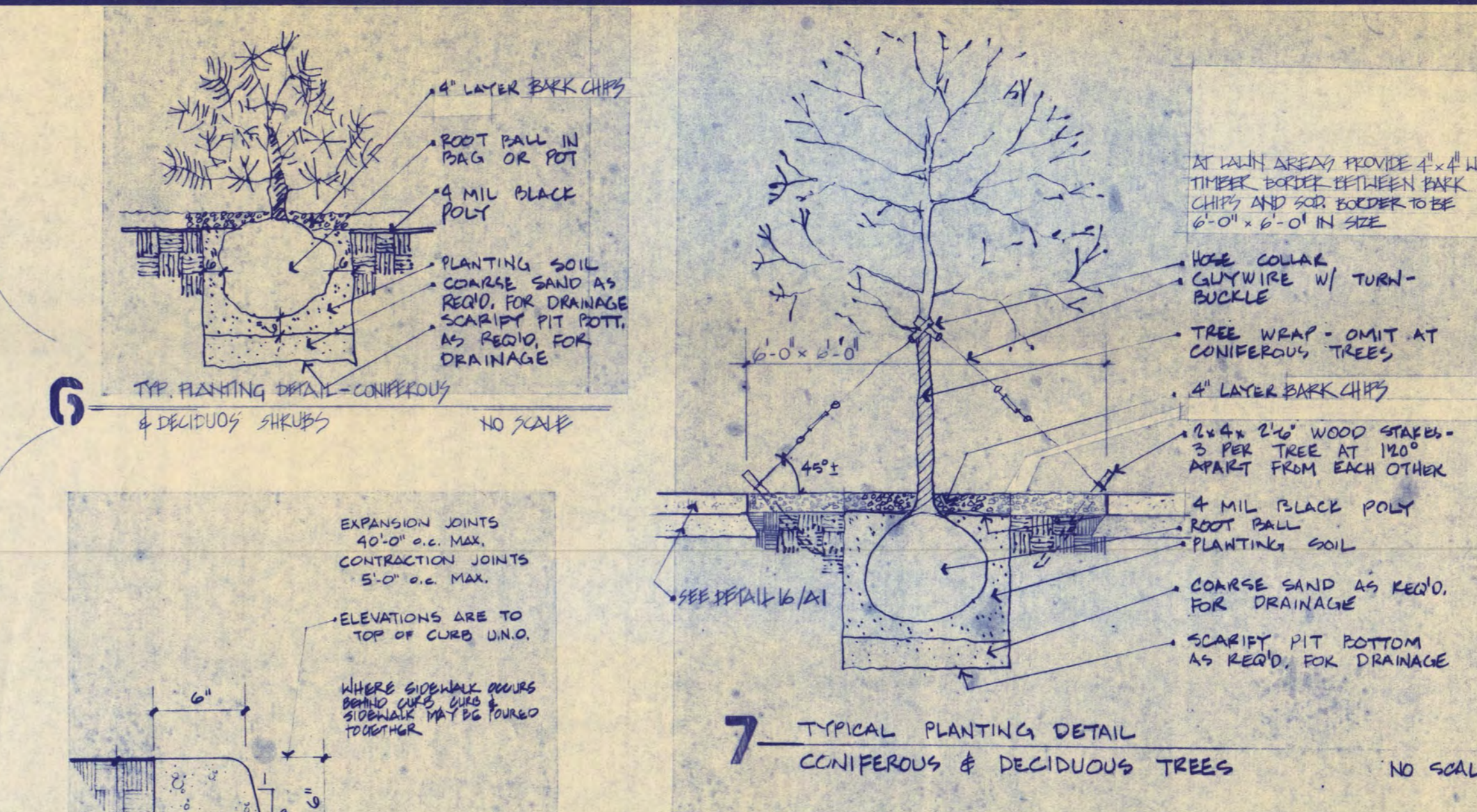
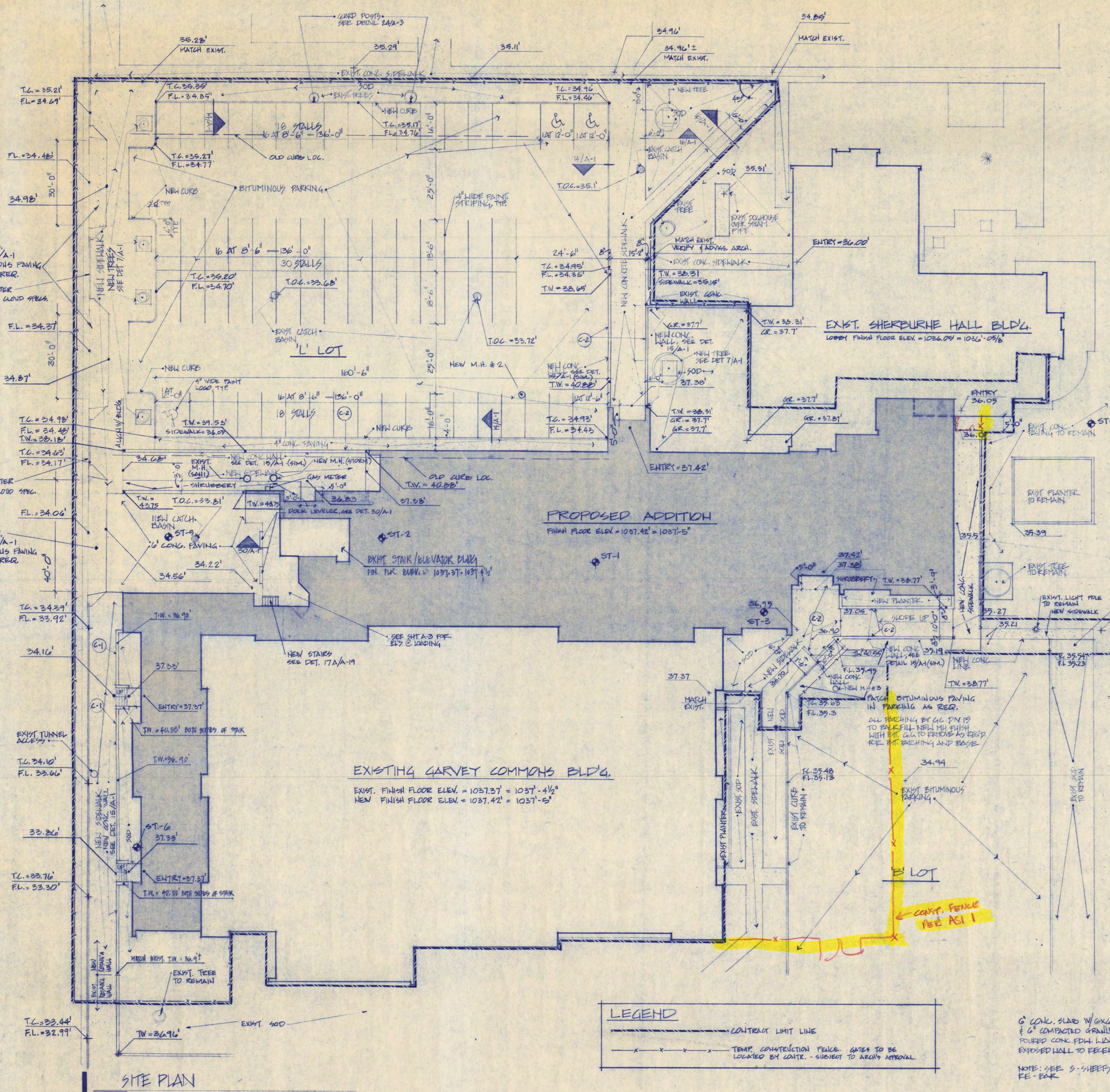
**GARVEY COMMONS/
SHERBURNE HALL
ADDITIONS & REMODELING**

ST. CLOUD STATE UNIVERSITY
ST. CLOUD MINNESOTA

REVISED	PROJECT NO. 8615
	ISSUE DATE 19, DEC 1976
	DRAWN BY S.W.H. & F.A.
	CHECKED C.H.
	APPROVED F.W.
	SCALE AS SHOWN

NORTH

D-3



General Notes

A. This sheet shows existing construction to remain and new work. See Sheet 0-1 for existing conditions and site demolition work.

B. See Sheets A-3 and A-4 for additional site development adjacent to building additions. See mechanical and electrical sheets for sitework by appropriate contractors.

Construction Notes

C-1. Face of wall to be "smooth" finish.

C-2. Face of wall to be board form finish (both sides of wall when both sides are exposed).

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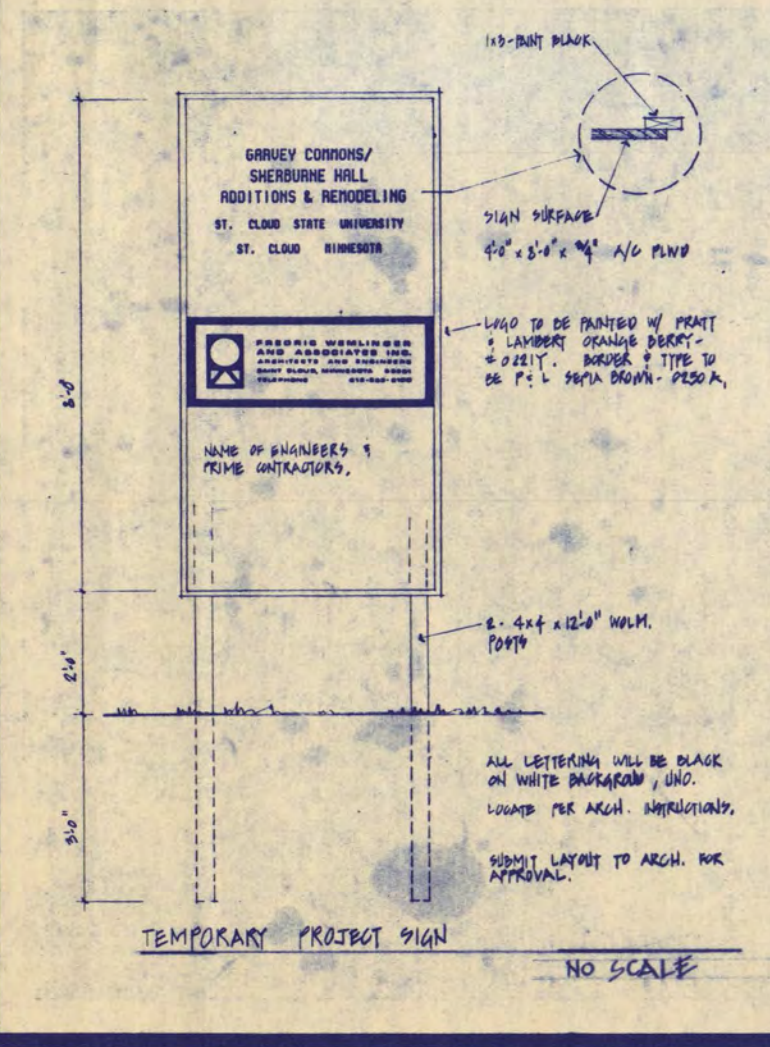
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GARVEY COMMONS/ SHERBURNE HALL ADDITIONS & REMODELING

ST. CLOUD STATE UNIVERSITY
 ST. CLOUD MINNESOTA

REVISED	PROJECT NO. 86015
	ISSUE DATE 19, DEC. 86
	DRAWN BY F.A.
	CHECKED C.H.
	APPROVED ARCHITECT F.W.
	SCALE AS NOTED



NOTE: Detail 30: Delete the 11" and 1'-6" dimensions; see Detail 14/S-4.

