

- General Notes**
- A. See structural sheets for new footing and foundation information.
  - B. No finishes to be provided in lower level other than Room 805 stairs. See Room Finish Schedule.
  - C. See floor plans, Sheets A-3 and A-4, for wall section references.
  - D. Not all existing walls in basement are shown, contractor shall verify if required.
  - E. Contractor to verify all wall locations in basement as required for new construction.

- Construction Notes**
- C-1. Remove existing elevator hoistway doors and frame. Install new elevator doors and frame. Section 0550 to furnish sill angle and verify size with Elevator Contractor. General Contractor to rebuild and/or infill wall, set sill angle, girth stiff and frame. Infill may be glazed tile or Spectra-Stone to match existing.

NOT ALL EXIST. WALLS IN BASEMENT ARE SHOWN, CONTRACTOR SHALL VERIFY IF REQUIRED.

FILL EXIST. PIT WITH COMPACTED GRAVEL AND INSTALL NEW 4" CONC. SLAB ON GRAVEL FLOOR W/ADJACENT FLOOR SLAB.

REMOVE EXIST. PLASTIC LAMINATE WALL PANELS. CONCRETE FLOOR TO NEW SUBFLOOR CENTER.

SEAL GYM TO REMOVE PSH WITH MACHINE & TRAIL CONTAINER.

REMOVE EXIST. DOORS, FRAMES WILL REMAIN. REMOVE OFFICES, FURNISHING IN PLACE. REMOVE DOOR, HINGES & STOPS. REMOVE IN FRAMES. FILL & SAND SMOOTH ALL OTHER HOLES IN FRAMES. PAINT FRAMES.

VERIFY LOCATION OF COL. #24 & ADJUST AREA TIE TO CUTTING NEW STRIPS IN EXIST. WALL.

INSTALL THIS WALL & DOOR PANELS TO ANY WORK FOR NEW STAIR.

- 103. The Owner will repair the ceiling in the dishroom after removal of the dishmachine by the Contractor.
- 104. Change Existing Elevator #2, to Existing Elevator #1.
- 105. Provide additional temporary dust barriers:
  - a. At the south side of Existing Elevator #1.
  - b. At the bottom of wide, center stair to first floor.
- Provide dust tight doors as required for access in temporary dust barriers.
- 67. Door 806 shall have the swing reversed so that it swings out of Room 806. Hinges shall remain on the east jamb.
- 68. Revise Construction Note C-1 to read: Remove existing elevator hoistway south shaft wall (including existing door and frames), pit south foundation wall, and a portion of the pit slab. See Sheet SD-2, issued with the Addendum, for additional information.
- 68A. The General Contractor shall remove, and subsequently re-install, the existing door and frame located immediately north of existing elevator #1 to facilitate delivery of food service equipment item #103, by the FSEC. All existing adjacent finishes shall be patched to match existing conditions.

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DATE: 10/20/06 REG. NO. 0553

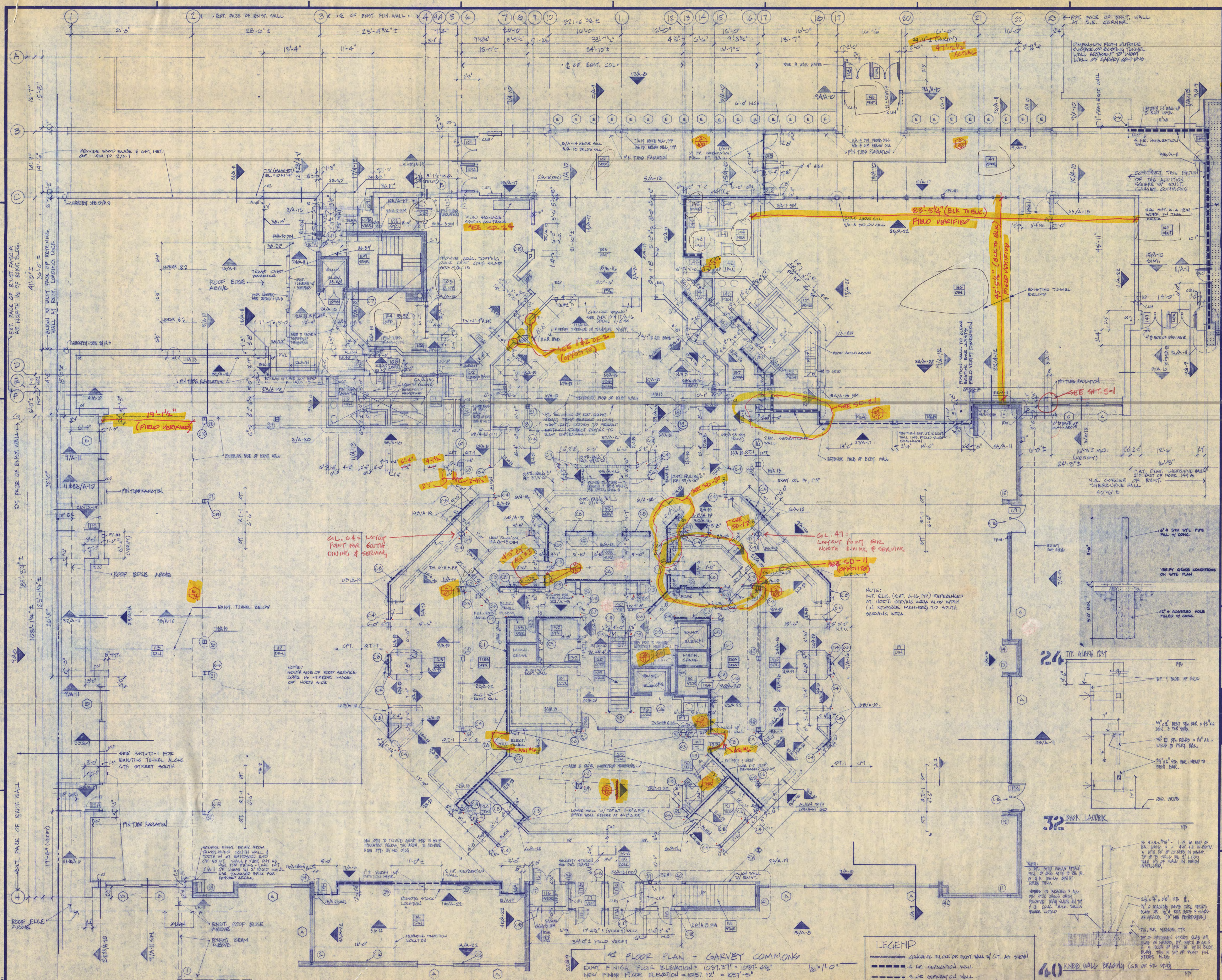
**FREDRIC WEMLINGER AND ASSOCIATES, INC.**  
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**GARVEY COMMONS/  
 SHERBURNE HALL  
 ADDITIONS & REMODELING**  
 ST. CLOUD STATE UNIVERSITY  
 ST. CLOUD MINNESOTA

REVISED	PROJECT NO. B6015
	ISSUE DATE Dec 06
	DRAWN BY FA
	CHECKED CH
	APPROVED ARCHITECT F.W.
	SCALE AS NOTED

**33 GARVEY COMMONS BASEMENT FLOOR PLAN**  
 EXISTING FINISH FLOOR ELEVATION - 1025'-5"  
 1/8" = 1'-0"





- General Notes**
- All interior partitions are concrete block, U.N.O.
  - All headers and hangers in precast roof panels to be cast with lath and plaster to achieve hourly fire rating consistent with precast panels.
  - Contractor to clean existing concrete floor slab and fill all cracks and voids. Prepare the slab to receive new floor finishes.
  - Dotted lines in food service core area are furnished by the food service contract. See Food Service Plans on 25 sheets.
  - Within the existing building, approximately between grid lines 12 and 16, the existing masonry will be removed and quarry tile in this area and new construction masonry will be set. Other quarry tile in existing buildings is to be this set.
  - All dimensions are to nominal face of concrete block or face of steel studs, U.N.O.
  - See Sheet A-12 for floor transition and base condition for localities.
  - See Sheet A-13 for control joint details. See plans for localities.
  - See Sheet A-10 for typical through wall flashing details.
  - Where wall sections and details indicate concrete block, see Room Finish Schedule for use of burnished concrete block.
  - There shall be no direct attachment, without flexible anchorage, of partitions on walls to structural steel columns.
  - Walls with burnished concrete block, both sides, shall be laid on double wythe walls.
  - See mechanical drawings for floor drains. Install at an elevation top adjacent floor to pitch to drain.
  - Where existing items are removed from existing walls to receive fill all holes, cracks, voids, etc., with material consistent with existing wall construction.
  - All walls drawn on a diagonal to the north-south-east-west building orientation are at 45° to the basic orientation, U.N.O.

- Construction Notes**
- Provide self-furring metal lath and mud set ceramic tile over existing wall surfaces.
  - Provide casing bead 1/4" from existing door frame and install sealant between casing and door and frame.
  - Provide 42" high, stainless steel corner guard at this corner. Bottom of guard at top of base.
  - Provide vinyl corner guards from top of base to bottom of wood trim (where wood trim occurs). Field verify dimensions. At areas with no wood trim extend up from base 48".
  - Remove existing elevator hoistway doors and controls. Fill-in opening with concrete block. Scribe opening and install new doors and frame and provide controls at opposite side of the hoistway. Section 0550 to furnish all angles and verify size with elevator contractor. General Contractor to re-build walls; set sill angle and groud sill and frames.
  - Extend brick 4" minimum behind existing wall face and provide sealant and copper flashing similar to Detail 58/A-11.
  - Verify placement of this wall with bar joist placements. Shift wall to the north side of joist to align bar joist. Verify location with the Architect.
  - Concrete block or existing wall with ceramic tile as shown.
  - Provide self-furring metal lath and plaster over existing wall surface.
  - Slope new quarry tile down to existing terrace.
  - Cut new opening full height of wall. Slop Jamb with 12" concrete block.
  - Repair brick at location where existing wall is to be removed.
  - Repair drywall at location where existing wall is to be removed.
  - Fill existing planter holes similar to Detail 48/A-1.
  - Furr out as required to cover existing or new piping.
  - Slope quarry tile from new typical finish floor elevation to existing finish floor elevation in a 12"-18" dimension from this door (or stair nosing).
  - New finish floor elevation in this room shall be 1037.37".
  - These walls to be 4" face and 8" concrete block (12" total thickness).

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DATE 12/18/66 REF NO. 8829

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**GARVEY COMMONS/  
 SHERBURNE HALL  
 ADDITIONS & REMODELING**  
 ST. CLOUD STATE UNIVERSITY  
 ST. CLOUD, MINNESOTA

REVISED	PROJECT NO. 26019
ISSUE DATE 12/18/66	DRAWN BY LG
CHECKED CH	APPROVED ARCHITECT FW
SCALE 1/8" = 1'-0"	SCALE 1/8" = 1'-0"



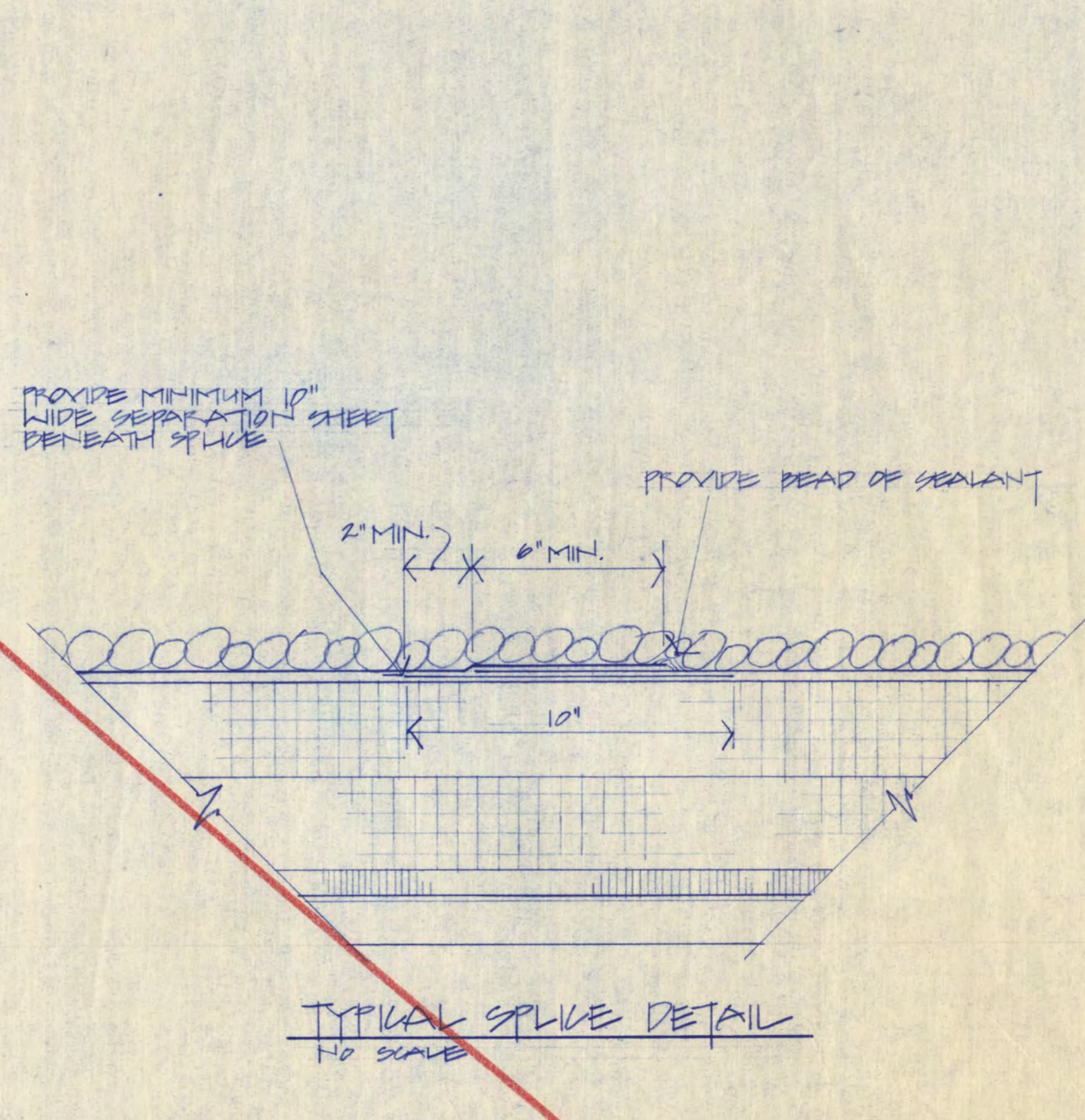
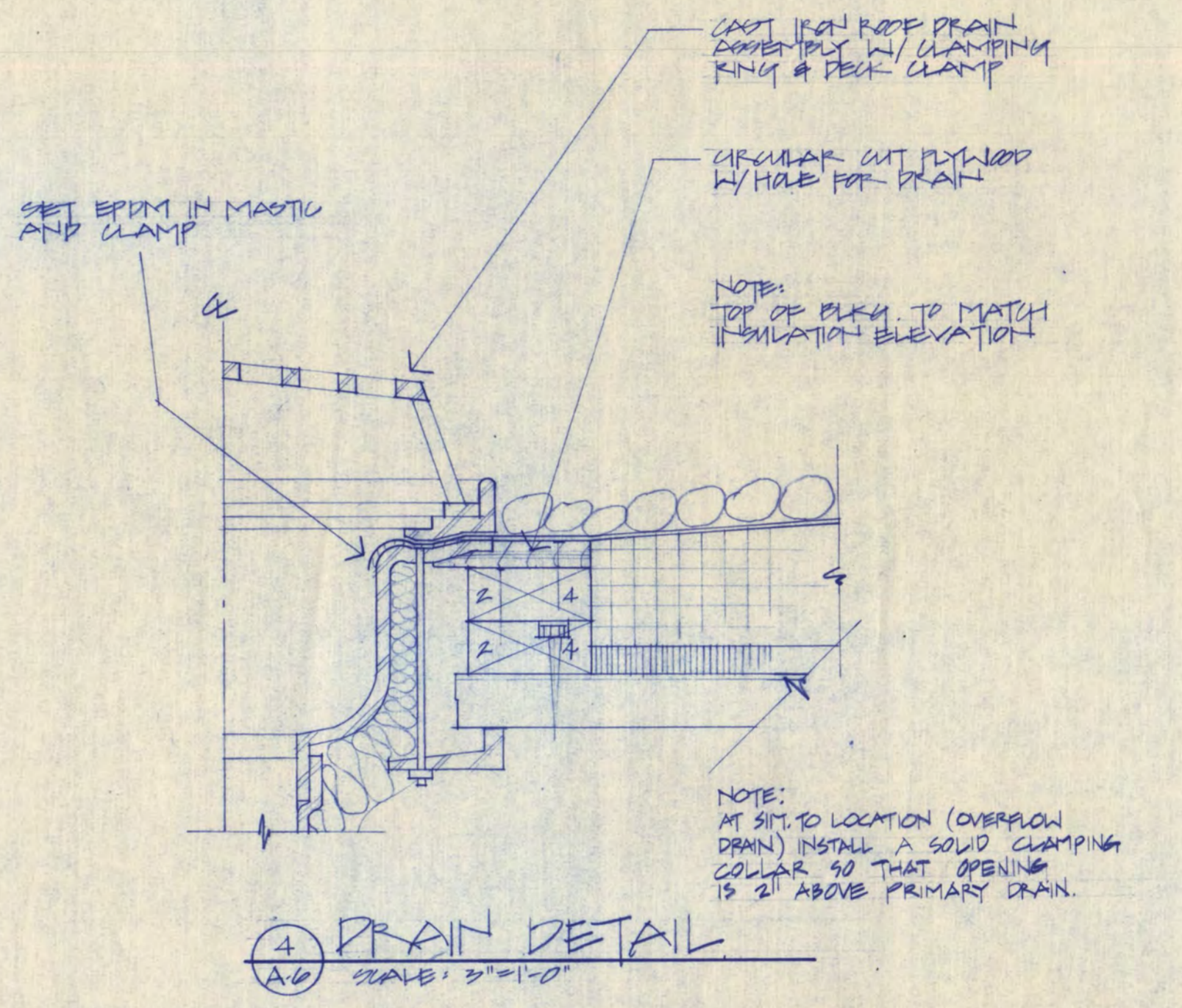
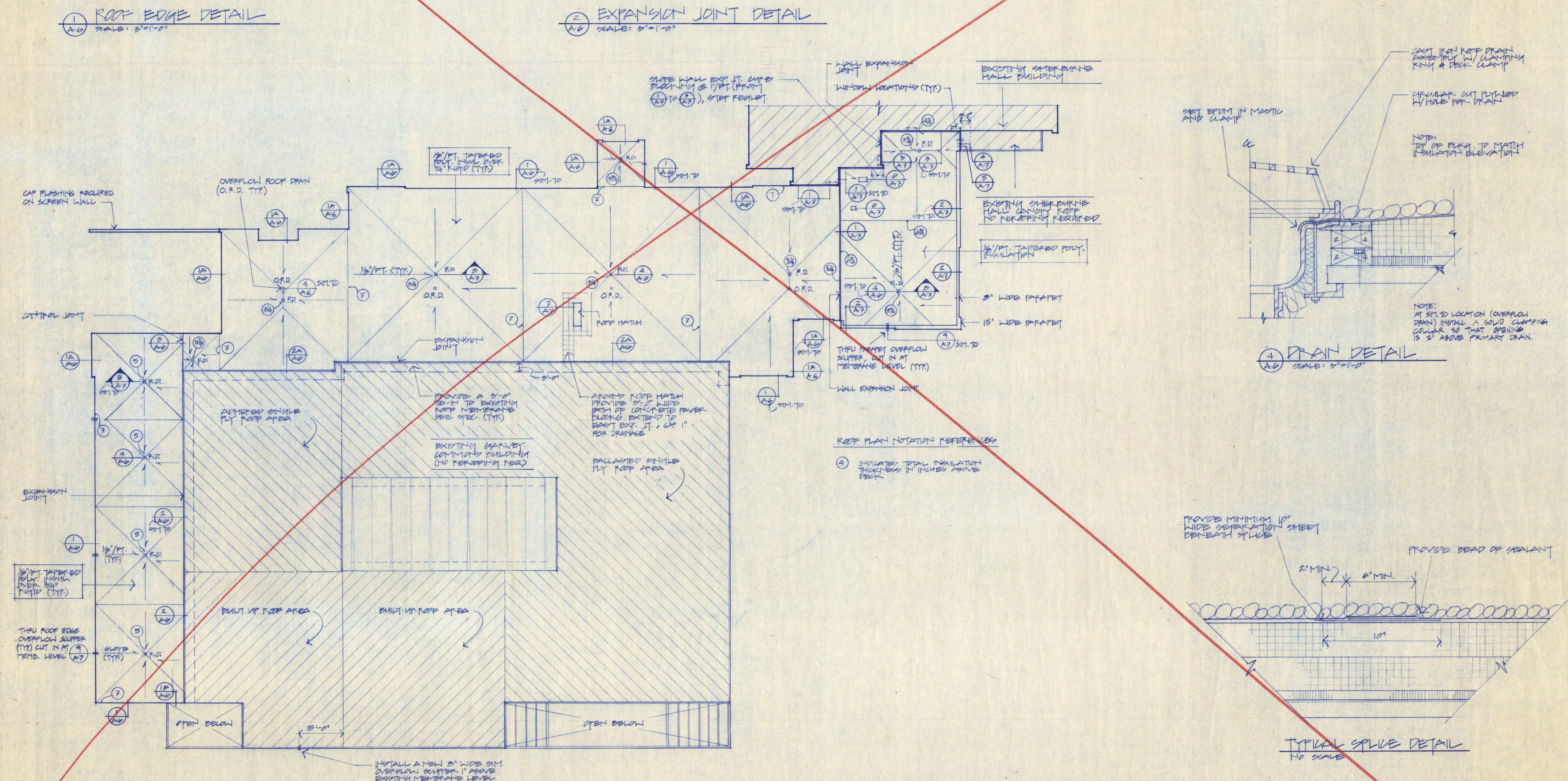
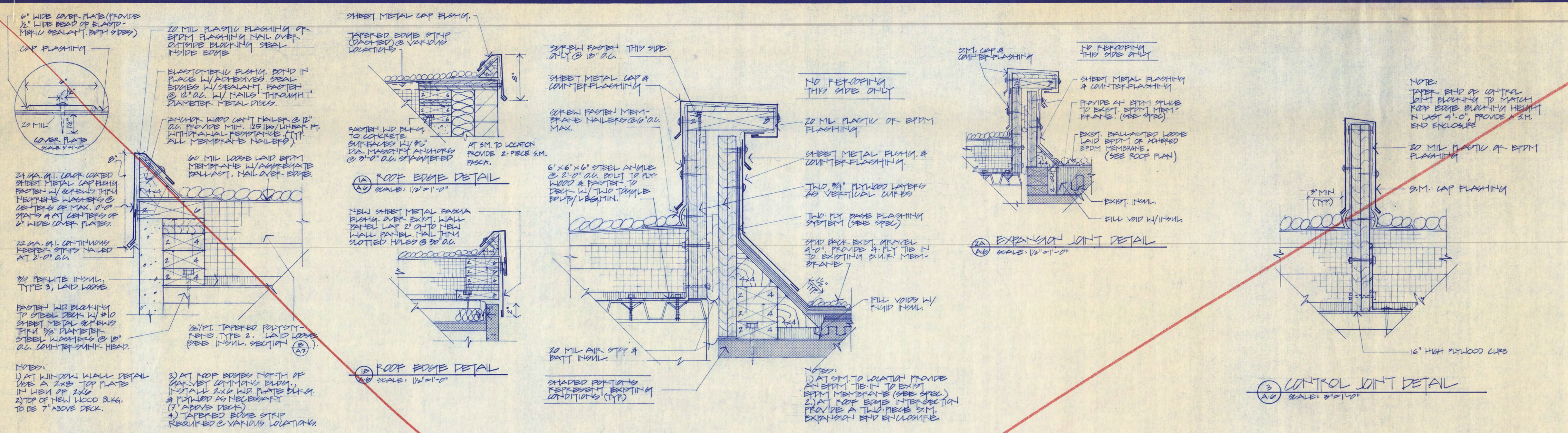
**FLOOR PLAN - GARVEY COMMONS**  
 EXIST. FINISH FLOOR ELEVATION = 1037.37" = 1037'-4 1/2"  
 NEW FINISH FLOOR ELEVATION = 1037.12" = 1037'-5"

- LEGEND**
- CONCRETE BLOCK OR EXIST. WALL (AS SHOWN)
  - 4" H.C. SEPARATION WALL
  - 8" H.C. SEPARATION WALL

- At the west wall of Rooms 101 and 147, provide control joints aligned with the columns as detailed at 3/A-13 and provide one control joint (per Detail 1/A-13) 16'-0" north of Grid 23.
- Existing columns 46 and 63 shall be furred out as required to conceal plumbing vent pipe which is run up along the column.







\* ALL WOOD IN CURB, CONTROL JT & EXP. JT. CONSTRUCTION TO BE WOLYANIZED

\* VERIFY ITEMS THRU ROOF W/MECH.

CONSULTING ENGINEERS  
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*Dwight D. Booney*  
DATE 12/15/86 REG. NO. 15580

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**GARVEY COMMONS/  
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REVISED	PROJECT NO. 26019
	ISSUE DATE 12/16/86
	DRAWN BY M.B.
	CHECKED G.P.
	APPROVED ARCHITECT F.W.
	SCALE AS NOTED

NORTH

**A-6**

VOID - SEE REVISED SHIT.